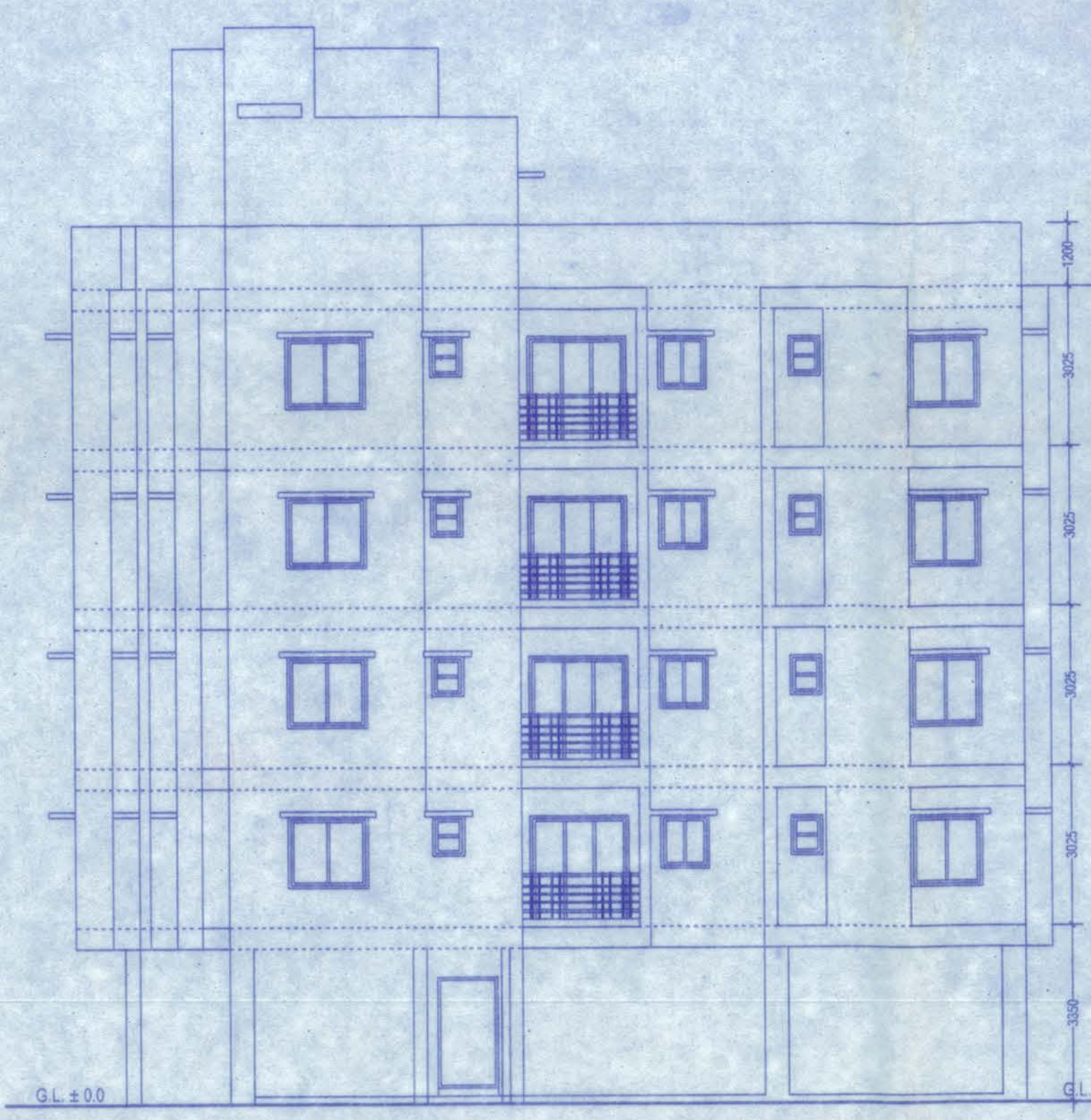
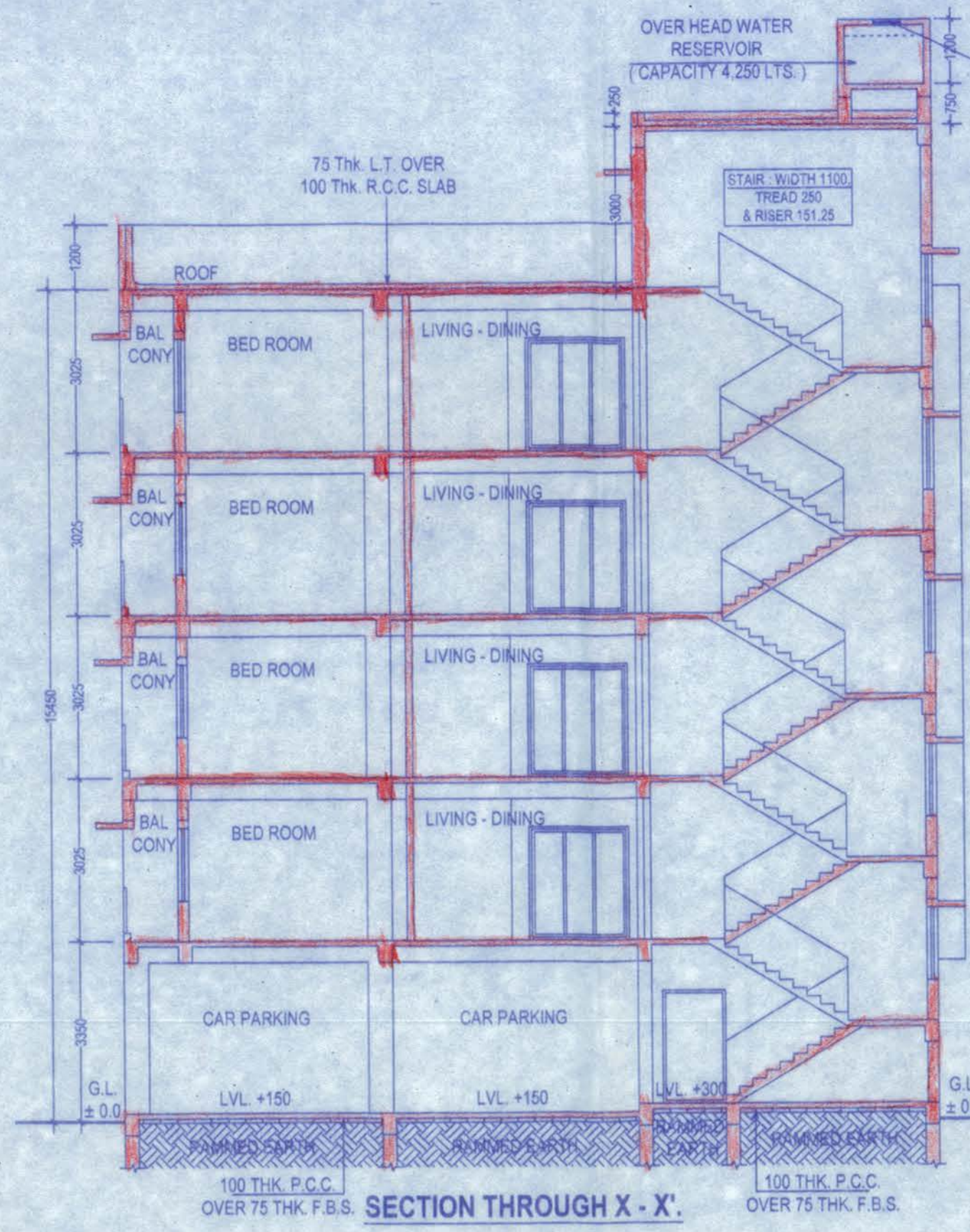




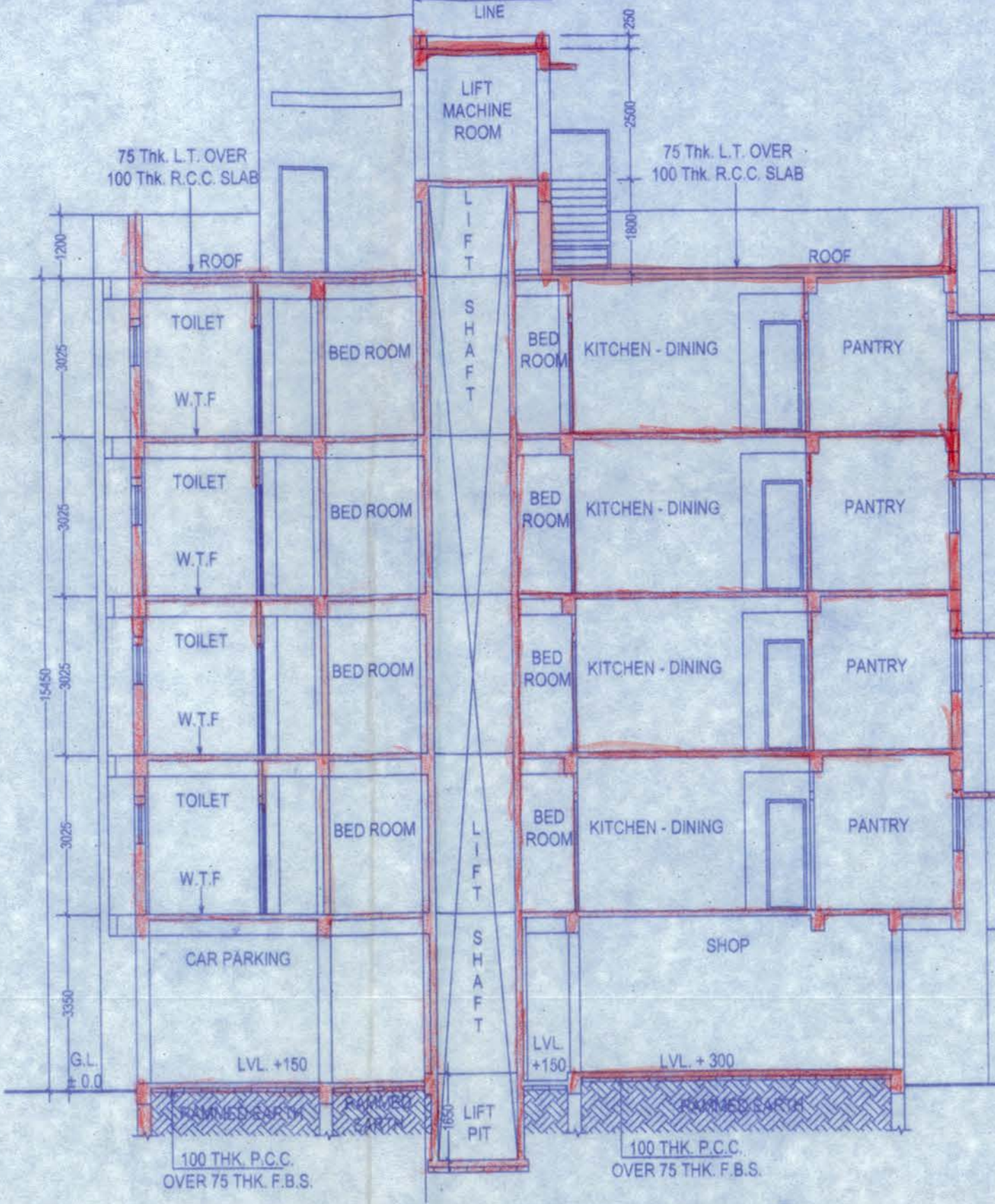
FRONT SIDE ELEVATION



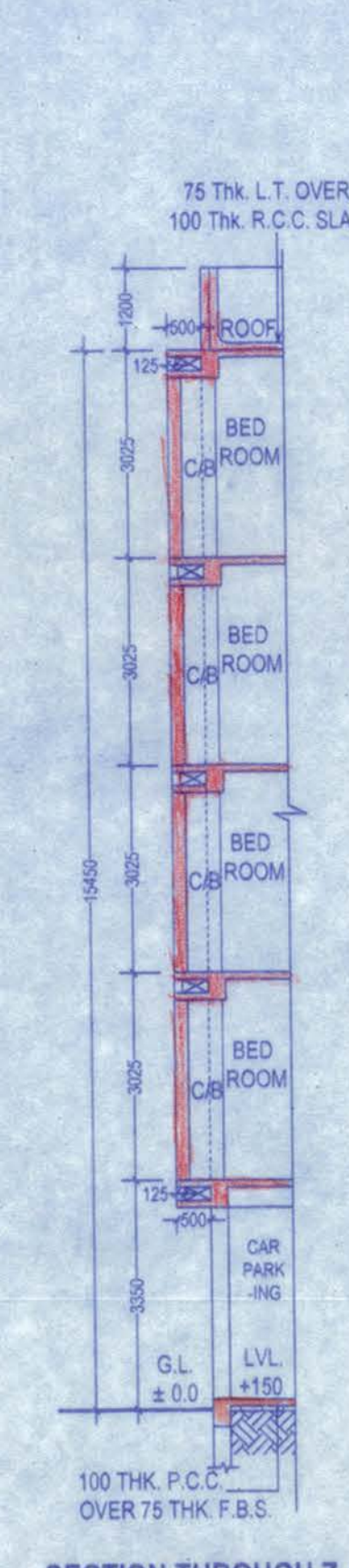
WEST SIDE ELEVATION



SECTION THROUGH X - X'



SECTION THROUGH Y - Y'



SECTION THROUGH Z - Z'

- SPECIFICATION OF CONSTRUCTION :-**
1. 200 THK. 1ST CLASS CEMENT BRICK WORK FOR EXTERNAL WALL IN SUPER STRUCTURE IN 1:6.
  2. 125 THK. 1ST CLASS CEMENT BRICK WORK FOR INTERNAL WALL IN 1:4.
  3. LEAN CONCRETE: 1:3:6 WITH 19 MM DOWN GRADED STONE CHIPS (M-15)
  4. R.C.C. 1:2:4 FOR ROOF SLAB, BEAM, LINTEL, CHAMBERS.
  5. CEMENT SAND PLASTER 18 MM ON OUTSIDE & 12 MM ON INSIDE WALL IN 1:6 & CEILING & CHAJJA IN 1:4.
  6. D.P.C. SHALL BE 50MM THICK IN 1:1.5 TONE WITH WATER PROOFING ADHESIVE
  7. 25 MM THK. U.S. FLOORING WITH NEAT CEMENT FINISH AT TOP
  8. 75 MM THK. SINGLE BRICK FLAT SOLING ON FOUNDATION
  9. +150 LVL. TO THE FINISHED GROUND FLOOR LVL.
  10. TREAD WIDTH 250 EACH & RISE HEIGHT 150 EACH
  11. FLOOR TO SLAB HEIGHT SHALL BE 3025 MM & THICKNESS OF THE SLAB SHALL BE 100 MM THEREFORE, CLEAR HEIGHT OF EACH FLOOR SHALL BE 2925 MM.
- MATERIALS :-**
- STEEL MUST CONFORM WITH IS 1786  
GRADE OF CONCRETE - M 20 (C 15) ST 1: 1: 2: 1 & GRADE OF STEEL - #600  
CEMENT - ORDINARY PORTLAND & SAND - MEDIUM GRADE  
STONE CHIPS - 20 MM DOWN GRADED  
OTHER DETAILS AS PER ARCHITECT OR ENGINEER - IN CHARGE

**OWNERS' DECLARATION :-**

1. THAT I/WE ARE THE OWNERS OF THE HOLDING NO. 391, GARIA MAIN ROAD, MEASURING ABOUT 07 K. 03 CH. 44 SQ. FT. (i.e. 484.878 SQ.M.) UNDER THE JURISDICTION OF RAJPUR - SONARPUR MUNICIPALITY, OF VACANT WHICH IS FULLY SEIZED POSSESSED AND OCCUPIED BY ME/US.
2. THAT I/WE PROPOSE TO CONSTRUCT A BUILDING IN THE AFORESAID HOLDING.
3. THAT THE LAND BOUNDED BY THE BOUNDARY WALL, DEMARCATED PILLAR WHICH IS IDENTIFIED BY ME/US TO THE E.B.S. (E.B.A. AND THE LAND ABUTTING ROAD) (ROADS WIDTH OF THE HOLDING HAS BEEN MEASURED BY THE E.B.A. / E.B.S. WHICH HAS BEEN SHOWN IN THE BUILDING PLAN PROPOSAL. THEREAS THE LAND IS 484.878 SQ.M. AND THE ABUTTING ROAD WIDTH IS 7.066 METER.
4. THAT THE LAND, PROPERTY IS FREE FROM ALL ENCUMBRANCE AND THERE IS NO PENDING CASE OR LITIGATION WHATSOEVER ON THIS LAND PROPERTY.

THAT, THE ABOVE STATEMENTS ARE TRUE TO BEST OF MY/OUR KNOWLEDGE AND BELIEF.

*Chiranjib Bhattacharya*  
An Chartered Accountant  
Chartered Accountant  
Siva Das  
SIGNATURE OF OWNERS AUTHORITY

**CERTIFICATE OF ARCHITECT :-**

I DO HEREBY CERTIFY THAT PLANS, ELEVATIONS AND SECTIONS AND OTHER STRUCTURAL DETAILS OF THE PROPOSED BUILDING ON HOLDING NO. 391, GARIA MAIN ROAD, UNDER THE JURISDICTION OF RAJPUR - SONARPUR MUNICIPALITY HAVE BEEN PREPARED IN CONFORMANCE WITH ALL RELEVANT PROVISIONS UNDER THE WEST BENGAL MUNICIPAL (BUILDING) RULES, 2007. THIS IS ALSO TO CERTIFY THAT RELEVANT 'NO OBJECTION' CERTIFICATES FROM THE RESPECTIVE AUTHORITIES SUCH AS, FIRE AND EMERGENCY SERVICES DEPARTMENT, AIRPORT AUTHORITY, POLLUTION CONTROL BOARD, TELE-COMMUNICATION DEPARTMENT, ETC. AS APPLICABLE IN THIS REGARD, ARE ALSO ENCLOSED WITH THE APPLICATION FOR SEEKING APPROVAL OF THE PLAN TO CONSTRUCT/RECONSTRUCT/ADDITION OR ALTERATION OF THE BUILDING ON THE SAID HOLDING.

*Arupam Ghosh*  
Registered Architect  
E.B.R. No. 2888/PS/SONARPUR/2013-14  
Rajpur Sonarpur Municipality  
Tada No. 02/2020/9585  
SIGNATURE OF ARCHITECT

**CERTIFICATE OF STRUCTURAL ENGINEER :-**

I DO HEREBY CERTIFY THAT THE FOUNDATION AND SUPERSTRUCTURE OF THE BUILDING PROPOSED FOR CONSTRUCTION AT HOLDING NO. 391, GARIA MAIN ROAD, UNDER THE JURISDICTION OF RAJPUR - SONARPUR MUNICIPALITY HAVE BEEN PERSONALLY INSPECTED AND SO DESIGNED BY ME. I WILL MAKE SUCH FOUNDATION AND SUPER STRUCTURE SAFE IN ALL RESPECT INCLUDING THE CONSIDERATION OF BEARING CAPACITY AND SETTLEMENT OF SOIL AND OTHER CONDITIONS, IF ANY, CONFORMING TO ALL RELEVANT IS CODE OF PRACTICE AND NATIONAL CODES OF LATEST REVISION AND CERTIFY THAT IT IS SAFE AND STABLE IN ALL RESPECT.

*Bhaskar Bikash Mishra*  
Rajpur Sonarpur Municipality  
ESE-01  
SIGNATURE OF STRUCTURAL ENGINEER

*Dr. S. K. Chakraborty*  
M.E. (S&M), Bachelor (P.E.) Foundation Engg., 1965; P.H.D., G.I.E.-01 (Rajpur - Sonarpur Municipality)  
Geotechnical Engineer  
SIGNATURE OF GEO-TECHNICAL ENGINEER

**PROJECT :-**

PROPOSED GROUND + FOUR STORIED [ 15.450 METER HEIGHT ]  
RESIDENTIAL BUILDING AT HOLDING NO. 391, GARIA MAIN ROAD, J.L. NO. 47, KHATTIAN NO. 127 / 160, 582 / 731, DAG NO. 374, MOUZA - BARHANS FARTABAD, P.S. SONARPUR, DIST. SOUTH 24 PARGANAS, WARD NO. 29, UNDER RAJPUR - SONARPUR MUNICIPALITY

ALL DIMENSIONS ARE IN M.M. (UNLESS OTHERWISE MENTIONED)

**PLAN, ELEVATION SECTION & SITE PLAN & LOCATION PLAN**

DRAWING SHEET NO. \_\_\_\_\_  
DATE: 16.01.2020  
SCALE: 1:100  
(UNLESS OTHERWISE MENTIONED)

Architects & Designers: **COLLAGE ARCHITECTS**  
1486, RAJDANGA MAIN ROAD, (OPPOSITE PURBA ABASAN, DF BLOCK), KOLKATA 700 107, INDIA  
PHONE NO: 0331 4602 6906, E-MAIL: collage.architects.info@gmail.com

THIS DRAWING IS A PROPERTY OF COLLAGE. ANY MODIFICATION, CHANGES, DEVIATIONS IS NOT PERMISSIBLE WITHOUT PRIOR INTIMATION OF THE ARCHITECT. TO THE CONTRARY THIS WILL BE TREATED AS ILLEGAL ACT.

OFFICE USE ONLY:

Checked by: *Sanyal*  
Local Officer in Charge  
RAJPUR SONARPUR MUNICIPALITY  
13/02/2020

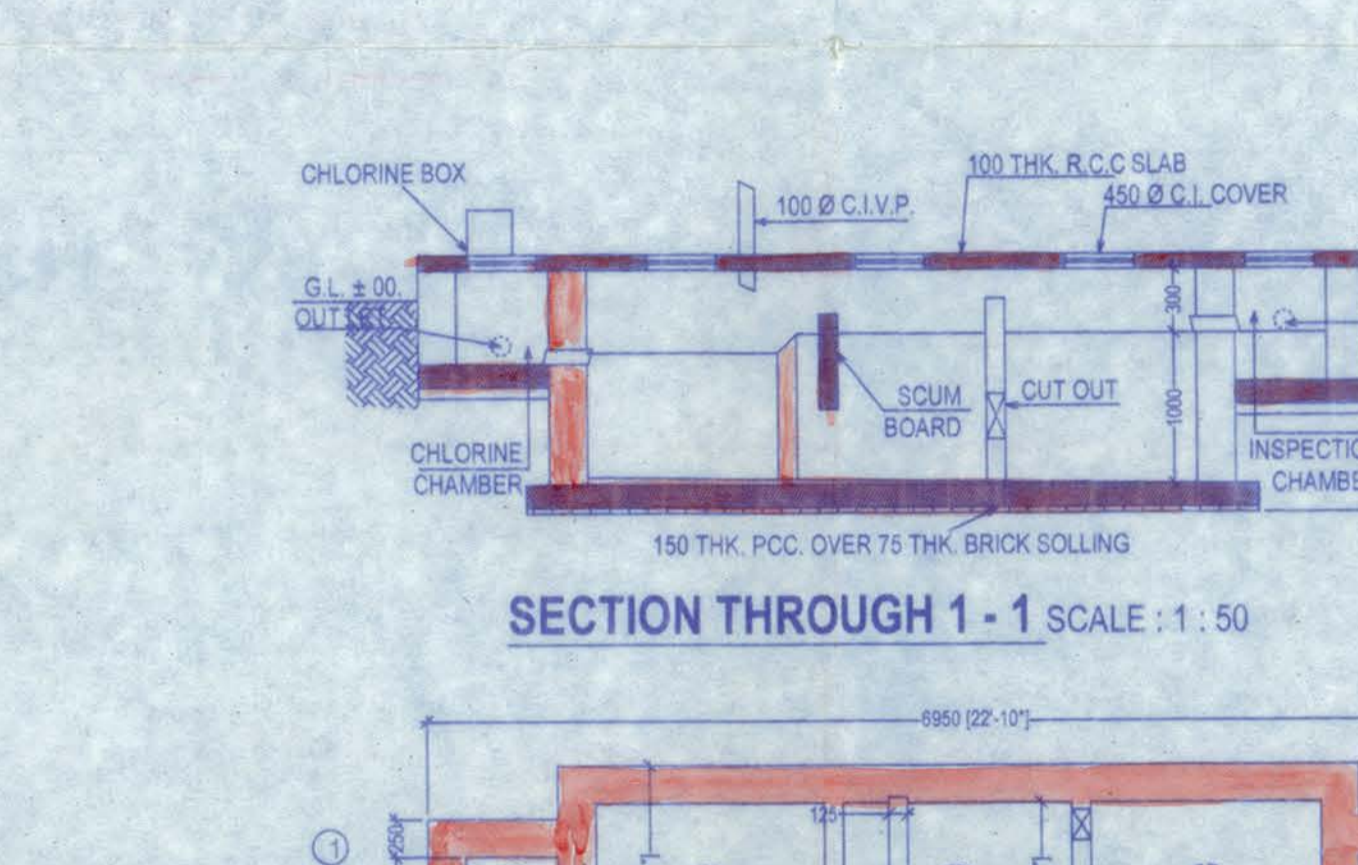
**APPROVED**  
Plan No. 172/19/29/12/20 dated 26/04/2020  
Valid upto: 24/04/2025  
*Dr. Pallo Kumar Das*  
Chairman  
RAJPUR-SONARPUR MUNICIPALITY



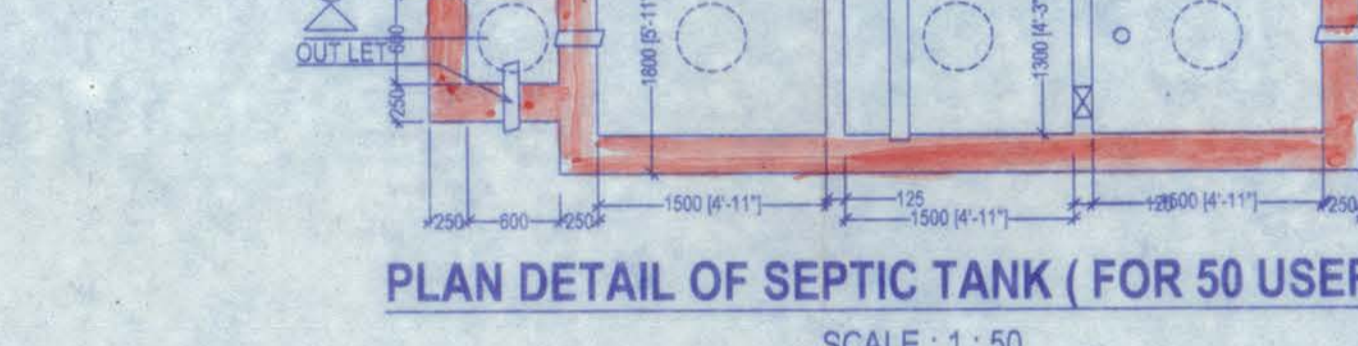
LOCATION PLAN SCALE: 1:4000



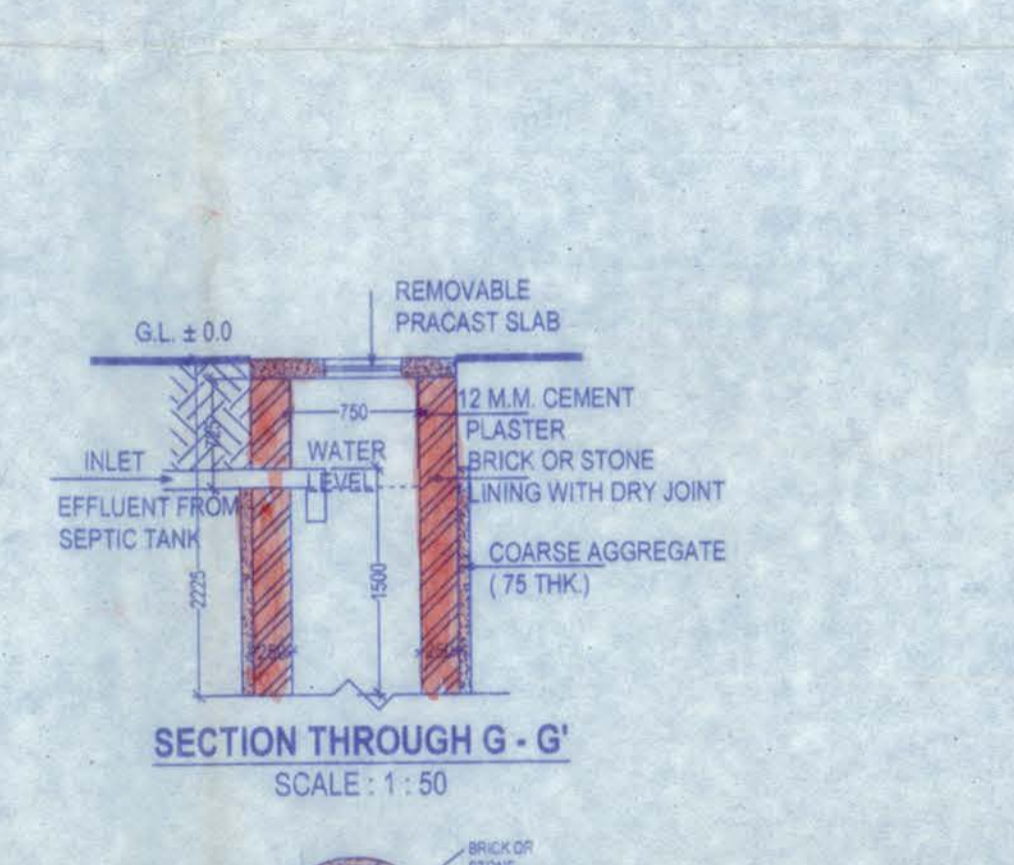
SITE PLAN SCALE: 1:600



SECTION THROUGH G - G'



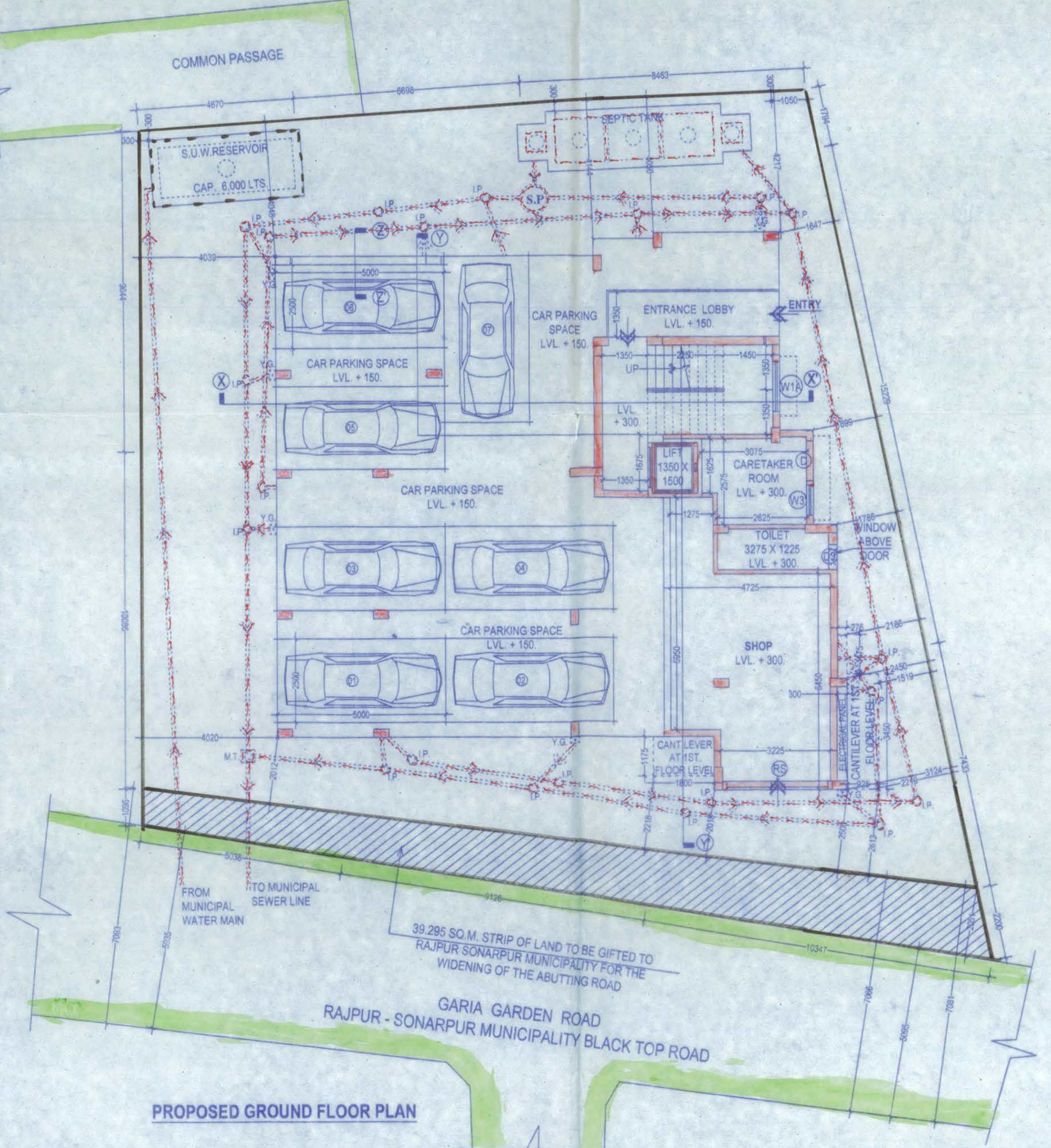
PLAN DETAIL OF SEPTIC TANK (FOR 50 USERS) SCALE: 1:50



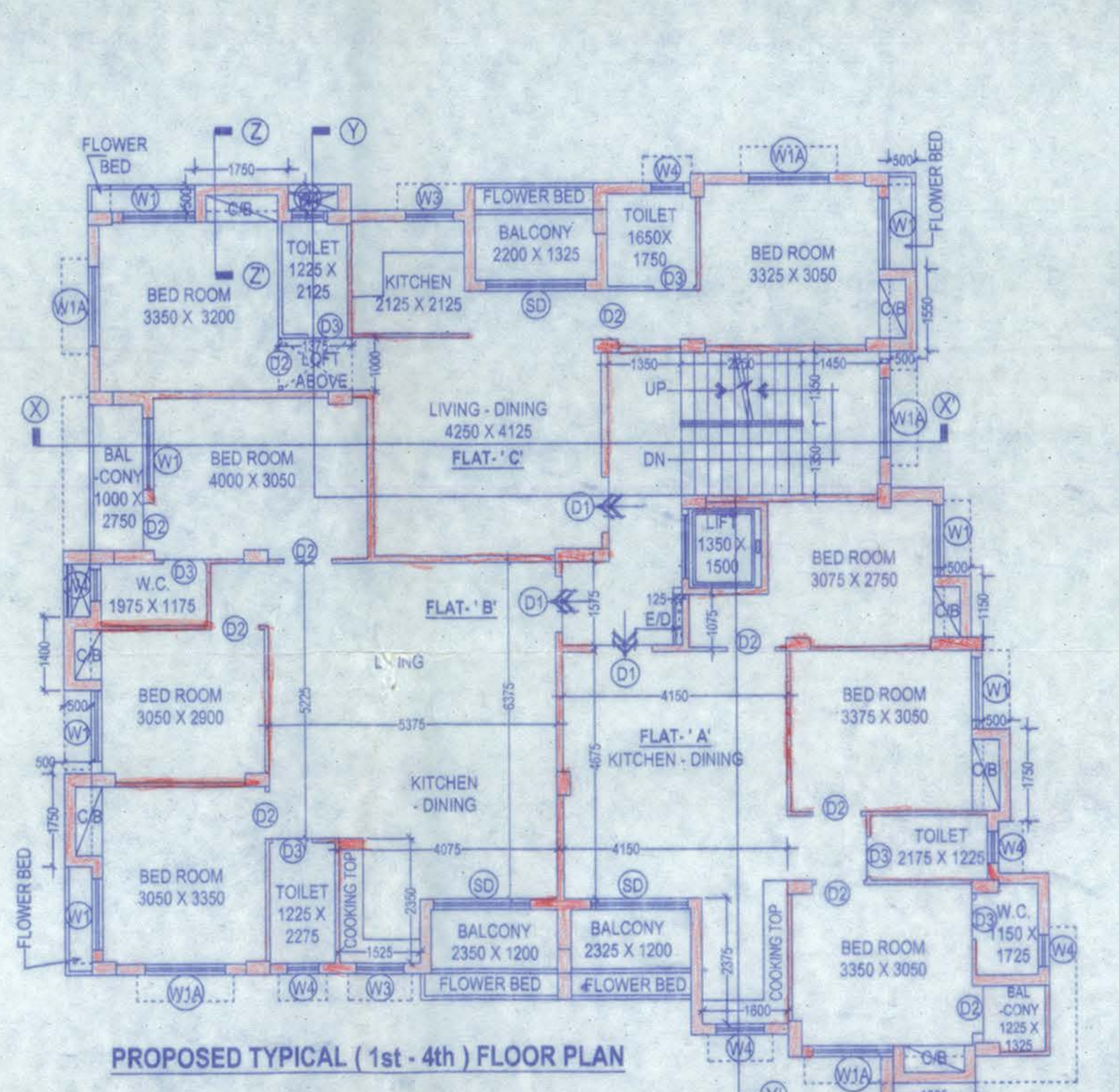
DETAIL OF SOAK PIT WITH LINING SCALE: 1:50

**DOOR & WINDOW SCHEDULE :-**

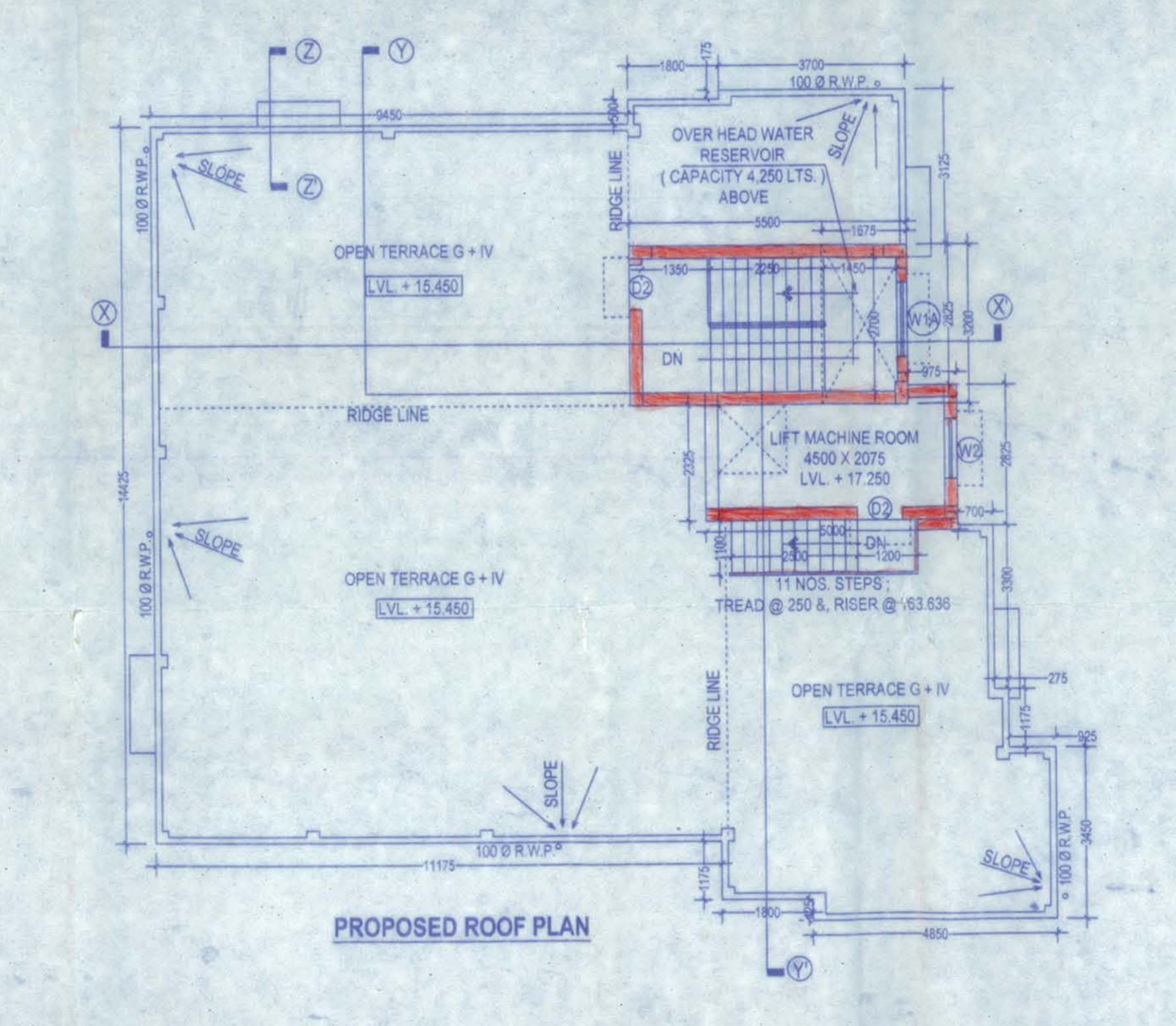
MARKED	TYPE	SILL HEIGHT FROM FLOOR	LINTEL HEIGHT FROM FL.	SIZE
D	SOLID FLUSH	----	2100	1200 X 2100
D1	SOLID FLUSH	----	2100	1050 X 2100
D2	SOLID FLUSH	----	2100	900 X 2100
D3	SOLID FLUSH	----	2100	750 X 2100
SD	GLAZED	----	2100	1800 X 2100
RS	ROLLING SHUTTER	----	2100	AS PER DWG
W1	GLAZED	750	2100	1350 X 1350
W1A	GLAZED	750	2100	1500 X 1350
W2	GLAZED	750	2100	1200 X 1350
W3	GLAZED	1100	2100	900 X 1050
W3	GLAZED	750	2100	900 X 1350
W4	GLAZED	1350	2100	600 X 750
W4'	GLAZED	AS PER DWG.	AS PER DWG.	AS PER DWG.



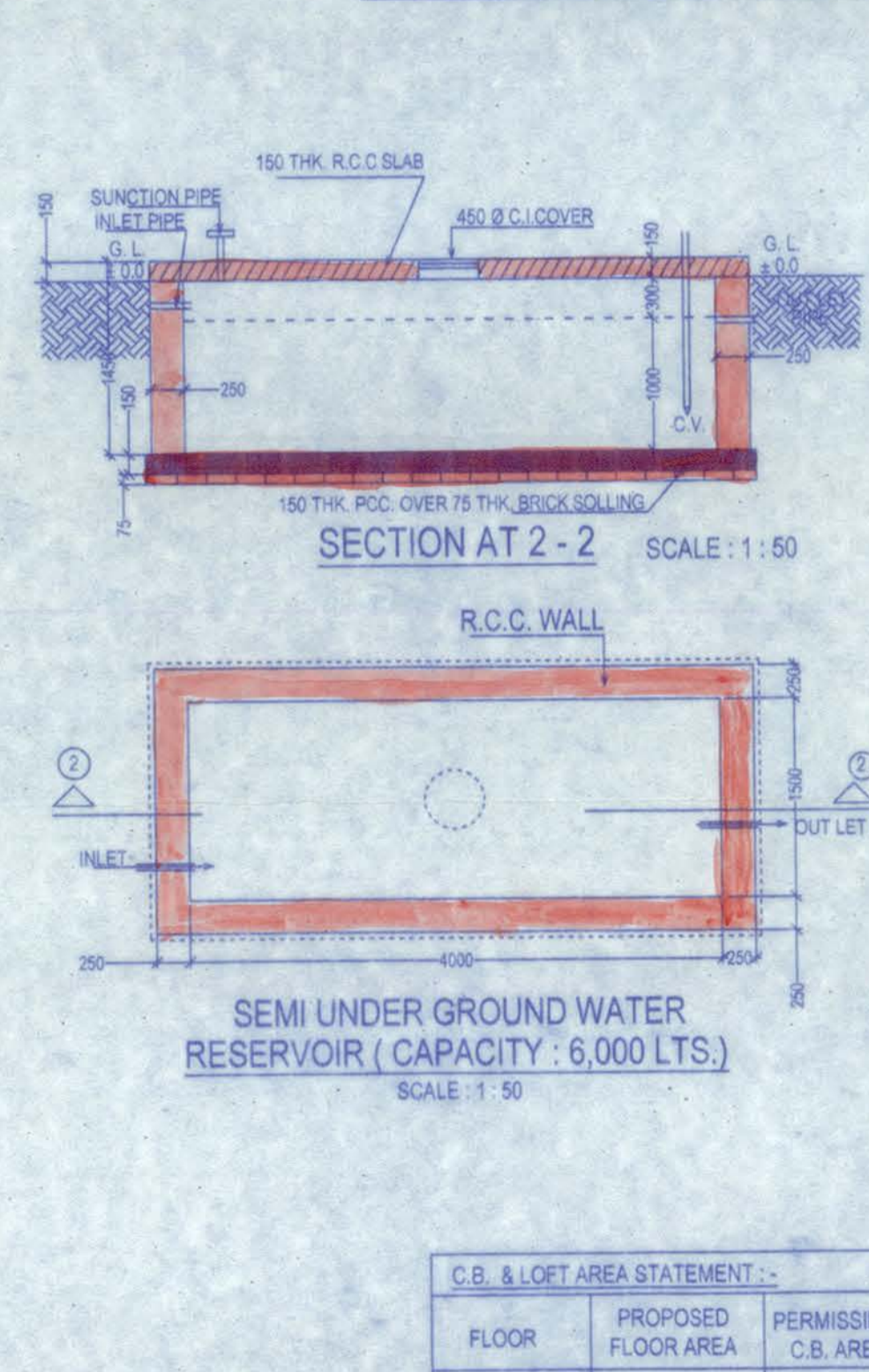
PROPOSED GROUND FLOOR PLAN



PROPOSED TYPICAL (1st-4th) FLOOR PLAN



PROPOSED ROOF PLAN



SECTION AT 2 - 2 SCALE: 1:50

SEMI UNDER GROUND WATER RESERVOIR (CAPACITY: 6,000 LTS.) SCALE: 1:50

**AREA STATEMENT**

LAND AREA:  
AS PER DEED - 07 K. 04 CH. 00 SQ.FT. i.e. 484.878 SQ.M.  
AS PER SITE - 07 K. 03 CH. 44 SQ.FT. i.e. 484.878 SQ.M.

**GROUND COVERAGE:**  
PERMISSIBLE: 50.75% i.e. 244.105 SQ.M.  
PROPOSED: 50.49% i.e. 244.818 SQ.M.

**CAR PARKING REQUIRED FOR RESIDENTIAL - TOTAL RESIDENTIAL AREA / 130.000 SQ.M.**  
100.000 / 130.000 SQ.M. = 4.615 i.e. 06 NOS.  
= 891.489 / 221.480 / 120 = 2.409 i.e. 02 NOS.  
= 4.615 + 2.409 = 7.044 NOS. i.e. 07 NOS.

**TOTAL NOS. OF FLAT: 12 NOS.**  
TOTAL CAR PARKING REQUIRED: 07 NOS.  
TOTAL CAR PARKING PROVIDED: 07 NOS.  
CAR PARKING SPACE PROVIDED AREA: 180.706 SQ.M.  
WIDE OF THE ROAD: 7.066 METER  
PERMISSIBLE F.A.R.: 2.000

**PROPOSED F.A.R. - TOTAL EFFECTIVE FLOOR AREA - CAR PARKING PROVIDED**  
LAND AREA = 1129.860 - 160.706 SQ.M.  
= 484.878 SQ.M.  
= 899.154 SQ.M.  
= 484.878 SQ.M.  
= 1.998

**DETAIL OF GROUND FLOOR:**  
a) CAR - PARKING AREA: 180.706 SQ.M.  
b) COMMERCIAL AREA: 36.931 SQ.M.  
c) SERVICE AREA: 13.539 SQ.M.  
d) LIFT - LOBBY AREA: 2.363 SQ.M.  
e) LIFT AREA: 2.025 SQ.M.  
f) STAIR - CASE AREA: 13.635 SQ.M.  
g) OTHER AREA: 10.955 SQ.M.

FLOOR	COVERED AREA	WELL		COVERED AREA EXCEPT LIFT & STAIR WELL	STAIR AREA (CARPET)		LIFT LOBBY AREA (CARPET)	TOTAL EFFECTIVE AREA FOR F.A.R.	CORRIDOR & PASS. AREA (COV.)	EFFECTIVE AREA FOR CAR - PARKING CALCULATION (RESIDENTIAL) (COMMERCIAL)		COMMERCIAL STAR. LIFT & LOBBY	CAR PARKING AREA	SERVICE AREA
		LIFT WELL	STAIR WELL		RESIDENTIAL	COMMERCIAL								
GROUND FLOOR	238.154 SQ.M.	---	---	238.154 SQ.M.	13.635 SQ.M.	---	2.363 SQ.M.	223.156 SQ.M.	---	35.931 SQ.M.	---	---	180.706 SQ.M.	13.539 SQ.M.
1ST FLOOR	242.674 SQ.M.	2.025 SQ.M.	0.119 SQ.M.	242.674 SQ.M.	13.635 SQ.M.	---	2.363 SQ.M.	228.676 SQ.M.	---	---	---	---	---	---
2ND FLOOR	244.818 SQ.M.	2.025 SQ.M.	0.119 SQ.M.	242.674 SQ.M.	13.635 SQ.M.	---	2.363 SQ.M.	228.676 SQ.M.	---	---	---	---	---	---
3RD FLOOR	244.818 SQ.M.	2.025 SQ.M.	0.119 SQ.M.	242.674 SQ.M.	13.635 SQ.M.	---	2.363 SQ.M.	228.676 SQ.M.	---	---	---	---	---	---
4TH FLOOR	244.818 SQ.M.	2.025 SQ.M.	0.119 SQ.M.	242.674 SQ.M.	13.635 SQ.M.	---	2.363 SQ.M.	228.676 SQ.M.	---	---	---	---	---	---
TOTAL	1218.426 SQ.M.	8.100 SQ.M.	0.476 SQ.M.	1209.850 SQ.M.	68.175 SQ.M.	---	11.815 SQ.M.	1129.860 SQ.M.	---	891.489 SQ.M.	35.931 SQ.M.	---	180.706 SQ.M.	13.539 SQ.M.

**Stacking of building materials on the roadside of public roads is illegal, and the Municipality may confiscate those materials as per rule.**

সড়কের উপর বাড়ী তৈরীর মাল মশলা কখনই রাখা  
যাবে না। যদি রাখা হয় তাহলে পৌরসভা এই মাল  
মশলা বাজেয়াপ্ত করতে পারবে।

**Transfer of occupancy right of any flat of the building before the receipt of completion certificate is illegal.**

সমাপ্তি শংসাপত্র প্রাপ্তির পূর্বে বাড়ীর কোন  
ফ্ল্যাট বা অংশ হস্তান্তর বে-আইনী।

**Written information in the prescribed form is to be submitted 7 days before the commencement of construction-work as per sanctioned plan.**

নির্মাণ কার্য আরম্ভ করার ৭ দিন আগে পৌরসভাকে নির্দিষ্ট ফর্মে লিখিতভাবে  
জানাতে হবে।

**Any deviation from the sanctioned plan is illegal, and hence prohibited under the Act.**

সংশোধিত প্লান অনুযায়ী নির্মাণ সম্পূর্ণ বেসম্মতি এবং আক্ৰিয়ামূল্য অপর্যাপ্ত।

**Written information is to be submitted to this office after part or full completion of construction-work.**

নির্মাণ কার্য সম্পূর্ণ/আংশিক/বন্দবাসে উপস্থিত হলে পৌরসভাকে লিখিতভাবে  
জানাতে হবে।